

20211119000557330
11/19/2021 07:54:28 AM
PARTREL 1/3

After Recording Return To:
ServiceLink
1355 Cherrington Parkway
Moon Township, PA 15108

Commitment Number: 28689518

MIN #100853701043202735
MERS phone 1-888-679-6377

PARTIAL RELEASE OF MORTGAGE

For valuable consideration paid, **Mortgage Electronic Registration Systems Inc. as nominee for Loandepot.com LLC**, the holder of that Mortgage described as follows:

Borrower: Joseph H. Fulmer III and Tara C. Fulmer
Lender: Mortgage Electronic Registration Systems Inc. as nominee for Loandepot.com LLC
Dated: 06/24/2021
Recorded: 07/09/2021
Recording reference: #20210709000332570
Amount: \$518,000.00

releases that portion of the property encumbered by the lien of the Mortgage described as follows:

Lot 1869 Old Cahaba, Phase V, 3rd Addition, according to the plat thereof recorded in Map Book 37, Page 6-B, in the office of the judge of probate of Shelby County, Alabama. Assessors Parcel No: 13 9 30 1 002 059.000

Preserving, however, all of its right, title and interest in the balance of the real property described in that Mortgage.

Property Address: 508 HIGHWAY 277, HELENA, AL 35080

Executed by the undersigned this 10TH OF NOVEMBER, 2021.

Mortgage Electronic Registration Systems Inc. as nominee for Loandepot.com LLC

By: 

Name: SCOTT VOGT

Its: ASSISTANT SECRETARY OF MERS

STATE OF _____

COUNTY OF _____

The foregoing instrument was acknowledged before me on _____, 20____ by _____ its _____ on behalf of **Mortgage Electronic Registration Systems Inc. as nominee for Loandepot.com LLC** who is personally known to me or has produced _____ as identification, and furthermore, the aforementioned person has acknowledged that his/her signature was his/her free and voluntary act for the purposes set forth in this instrument.

***SEE ATTACHED**

Notary Public

This instrument prepared by:

Jay A. Rosenberg, Esq., Rosenberg PLLC, Attorneys At Law, 101 South Reid Street, Suite 307, Sioux Falls, South Dakota 57103 (513) 247-9605 Fax: (866) 611-0170 and Thomas Granville McCroskey, Esq., Member of the Alabama Bar and licensed to practice law in Alabama.

Property Address: 508 HIGHWAY 277, HELENA, AL 35080

ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of Orange

On 11.10.2021 before me, Michael Anthony Burke, Notary Public
(insert name and title of the officer)

personally appeared Scott Vogt,
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are
subscribed to the within instrument and acknowledged to me that he/she/they executed the same in
his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the
person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

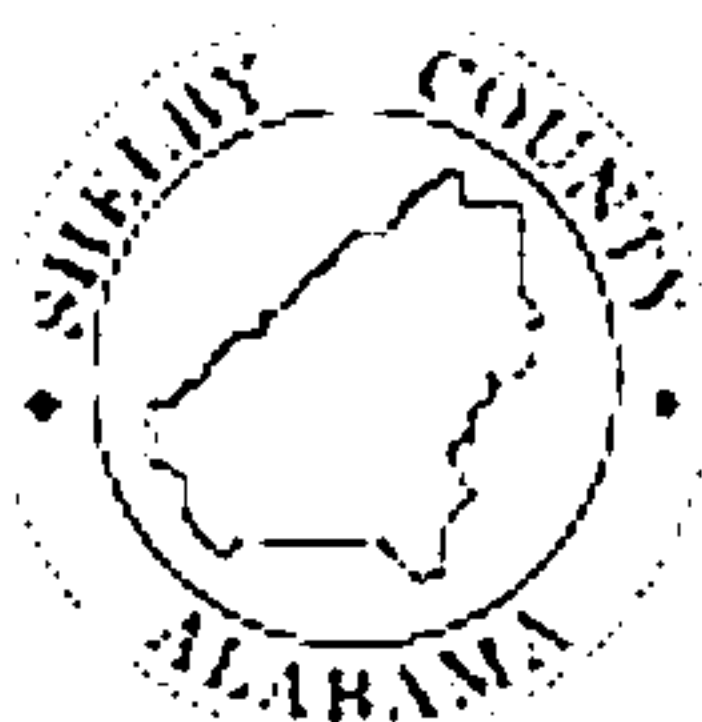
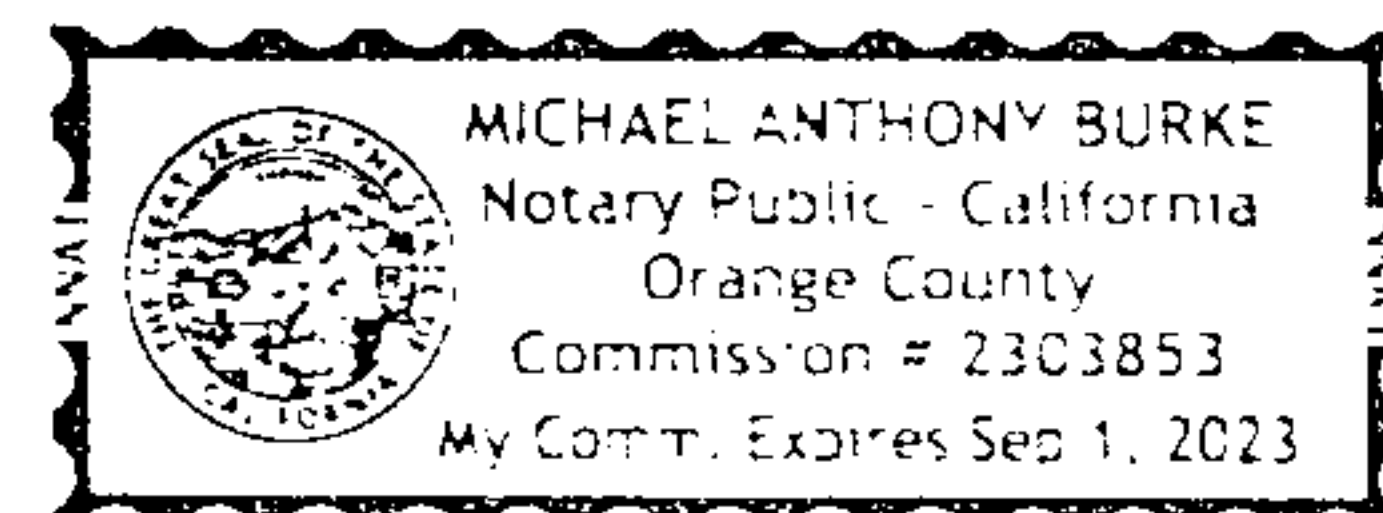
I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing
paragraph is true and correct.

WITNESS my hand and official seal.

Signature

MP

(Seal)



Filed and Recorded
Official Public Records
Judge of Probate, Shelby County Alabama, County
Clerk
Shelby County, AL
11/19/2021 07:54:28 AM
\$28.00 CHERRY
20211119000557330

Allen S. Bayl