

Parcel I.D. #: 28-3-08-0-000-007.000

Send Tax Notice To: Johnny & Tammy Freeman  
P.O. Box 1332  
Calera, AL 35040

**WARRANTY DEED**  
**Joint Tenancy With Right of Survivorship**

STATE OF ALABAMA     )  
                                          )  
COUNTY OF SHELBY    )

Know all men by these presents, that in consideration of the sum of Five Thousand Dollars and 00/100 (\$5,000.00.00), the receipt of sufficiency of which are hereby acknowledged, that **Nancy F. Clayton, a married woman; and Margaret F. Garrett, married woman**, hereinafter known as GRANTOR, does hereby bargain, grant, sell and convey the following described real property being situated in Shelby County, Alabama, to **Johnny C. Freeman, and Tammy Freeman**, hereinafter known as the GRANTEE;

*A parcel of land situated in the NE 1/4 of NW 1/4 of Section 8, Township 22 South, Range 2 West and more particularly described as follows: Begin at the NE corner of the NW 1/4 of said Section 8 and proceed Westward along the North side of said Section 262.0 feet; Thence South 102.0 feet; Thence West 192.0 feet; Thence South 213.0 feet; Thence South 1 degree 20' West 21.94 feet; Thence North 87 degrees 36' West 208.13 feet to Point of Beginning; Thence South 10 degrees 15' East 396.0 feet to NW border of County Highway; Thence South 48 degrees 16' West and along this Highway 135.34 feet; Thence continue along said Highway South 68 degrees 37' West 142.60 feet; Thence continue along said Highway South 84 degrees 55' West 44.80 feet; Thence North 8 degrees 28' East 123.92 feet; Thence North 65 degrees 14' West 81.40 feet; Thence North 84 degrees 22' East 105.0 feet; Thence 1 degree 45' East 402.83 feet; Thence South 84 degrees 53' East 147.32 feet to Point of Beginning. Containing 2.323 acres.*

Subject to any and all easements, rights of way, covenants and restrictions of record.

This deed was prepared without the benefit of a title search, and a survey was not performed. The legal description was taken from that certain instrument recorded in Book 268, Page 264, in the Probate Judge's Office of Shelby County, Alabama.

**THIS PROPERTY DOES NOT CONSTITUTE THE HOMESTEAD OF THE GRANTORS HEREIN.**

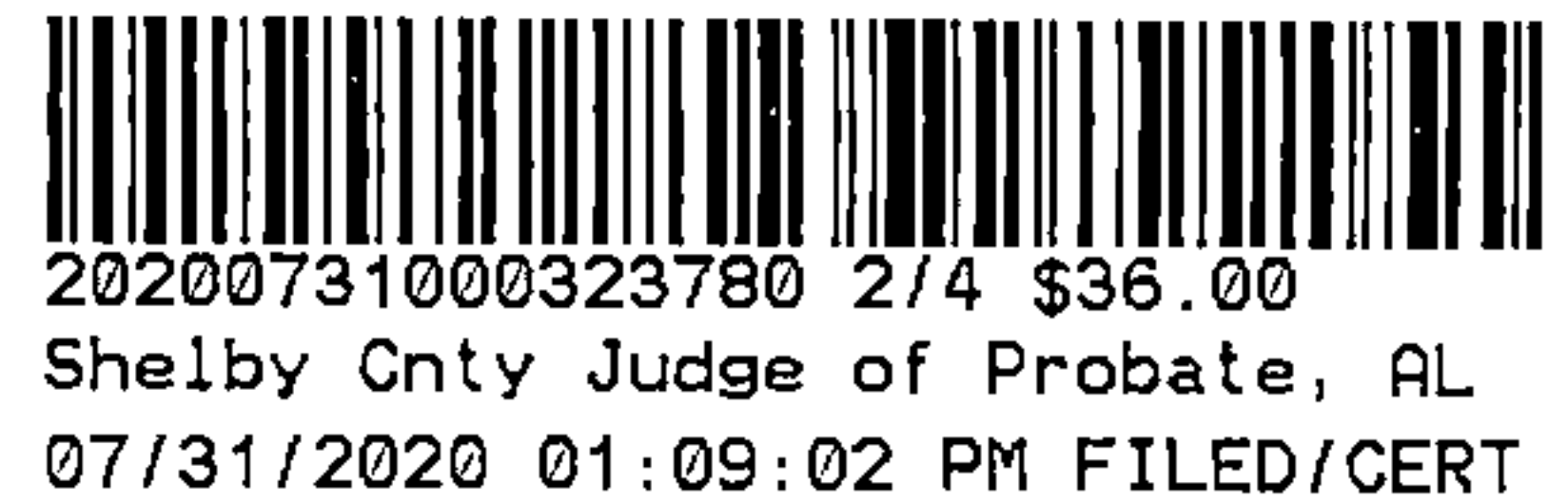
TO HAVE AND TO HOLD to the said GRANTEE as joint tenants, with right of survivorship, their heirs and assigns, forever; it being the intention of the parties to this conveyance, that (unless the joint tenancy hereby created is severed or terminated during the joint lives of the grantees herein) in the event one grantee herein survives the other, the entire interest in fee simple shall pass to the surviving grantee, and if one does not survive the other, then the heirs and assigns of the grantees herein shall take as tenants in common, together with every contingent remainder and right of reversion.

And we do for ourselves and for our heirs, executors, and administrators covenant with the said GRANTEES, their heirs, and assigns, that we are lawfully seized in fee simple of said premises; that they are free from all encumbrances, unless otherwise noted above; that we have a good right to sell and convey the same as aforesaid; that we will and our heirs, executors and administrators shall warrant and defend the same to the said GRANTEES, their heirs and assigns forever, against the lawful claims of all person.

IN WITNESS WHEREOF, we have hereunto set our hands and seals, on this the 31 Day of July, 2020.

Nancy F. Clayton  
Nancy F. Clayton  
Grantor

Margaret F. Garrett  
Margaret F. Garrett  
Grantor



STATE OF ALABAMA     )  
                                          )  
COUNTY OF SHELBY    )

I, the undersigned, a Notary Public in and for said State, do hereby certify that *Nancy F. Clayton*, whose name is signed to the foregoing conveyance, and who is personally known to me, acknowledged before me and my official seal of office, that he did execute the same voluntarily on the day the same bears date.

Given under my hand and official seal of office on this the 31 Day of



Real Estate Sales Validation Form

This Document must be filed in accordance with Code of Alabama 1975, Section 40-22-1

Grantor's Name ~~Thomas Freeman~~  
Mailing Address Nancy Clayton Margaret  
P.O. Box 447  
Troy, AL 35171

Grantee's Name Johnny Freeman, et al  
Mailing Address P.O. Box 1332  
CALERA, AL 35040

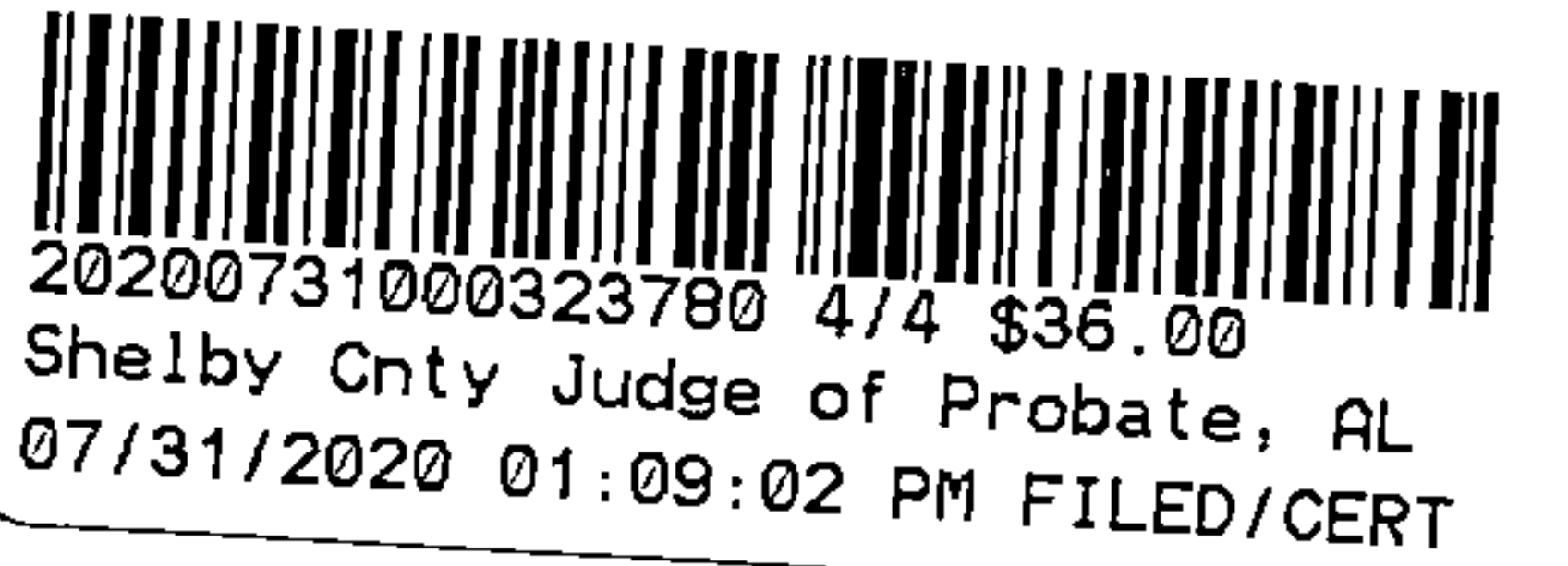
Property Address 52 Bonnybrook  
95 Bonnybrook  
CALERA, AL 35040

Date of Sale \_\_\_\_\_  
Total Purchase Price \$ 5000.  
or  
Actual Value \$ \_\_\_\_\_  
or  
Assessor's Market Value \$ \_\_\_\_\_

The purchase price or actual value claimed on this form can be verified in the following documentary evidence: (check one) (Recordation of documentary evidence is not required)

- Bill of Sale
- Sales Contract
- Closing Statement

- Appraisal
- Other



If the conveyance document presented for recordation contains all of the required information referenced above, the filing of this form is not required.

Instructions

Grantor's name and mailing address - provide the name of the person or persons conveying interest to property and their current mailing address.

Grantee's name and mailing address - provide the name of the person or persons to whom interest to property is being conveyed.

Property address - the physical address of the property being conveyed, if available.

Date of Sale - the date on which interest to the property was conveyed.

Total purchase price - the total amount paid for the purchase of the property, both real and personal, being conveyed by the instrument offered for record.

Actual value - if the property is not being sold, the true value of the property, both real and personal, being conveyed by the instrument offered for record. This may be evidenced by an appraisal conducted by a licensed appraiser or the assessor's current market value.

If no proof is provided and the value must be determined, the current estimate of fair market value, excluding current use valuation, of the property as determined by the local official charged with the responsibility of valuing property for property tax purposes will be used and the taxpayer will be penalized pursuant to Code of Alabama 1975 § 40-22-1 (h).

I attest, to the best of my knowledge and belief that the information contained in this document is true and accurate. I further understand that any false statements claimed on this form may result in the imposition of the penalty indicated in Code of Alabama 1975 § 40-22-1 (h).

Date 7-31-2020

Print Johnny Freeman

Sign [Signature]

(Grantor/Grantee/Owner/Agent) circle one

Unattested  
Shelby County, AL 07/31/2020  
State of Alabama  
Deed Tax: \$5.00

Verified by)