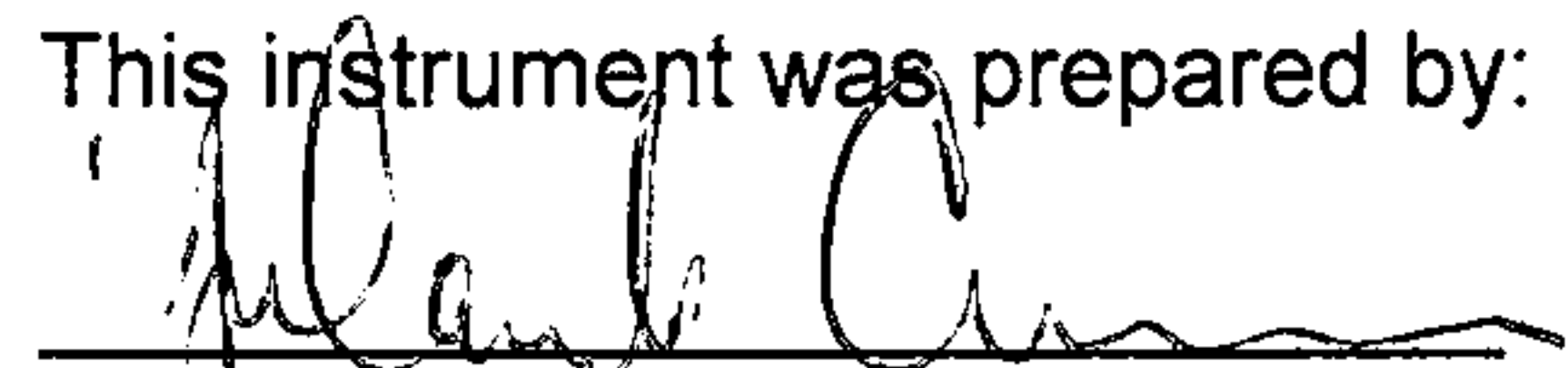


20171227000458900  
12/27/2017 10:04:56 AM  
SUBAGREM 1/3

This instrument was prepared by:



Name: Yolanda Cummins  
Ditech Financial LLC  
2100 East Elliot Road, Bldg 94, T316  
Tempe, Arizona 85284

*WHEN RECORDED, RETURN TO:  
FIRST AMERICAN TITLE INSURANCE CO.  
4795 REGENT BLVD, 1006-A  
IRVING, TX 75063  
ATTN: RECORDING*

#### SUBORDINATION OF MORTGAGE

Acct#



**Subordination Agreement is null and void if: Not recorded within 90 days of effective date, corrections or changes are made or provisions defined herein are not met.**

**Effective Date:** October 31, 2017


WHEREAS, US Bank National Association, as Trustee of CVI Loan GT Trust I, whose address is 7360 south Kyrene, T314, Tempe, AZ 85283, is the holder of a Mortgage, hereinafter referred to as "Holder", in the amount of \$15,651.43 dated July 5, 2005 and recorded July 8, 2005, as Instrument No. 20050708000342620, Book N/A, Page N/A, hereinafter referred to as "Existing Mortgage", on the following described property,


WHEREAS, it is necessary that the new lien to Ditech Financial LLC, its successors and/or assigns, which secures a note in the amount not to exceed Fifty-One Thousand Dollars and 00/100 (\$51,000.), hereinafter referred to as "New Mortgage", be a first lien on the premises in question, Said New Mortgage is recorded concurrently herewith as Instrument No. \_\_\_\_\_, Book \_\_\_\_\_, Page \_\_\_\_\_.

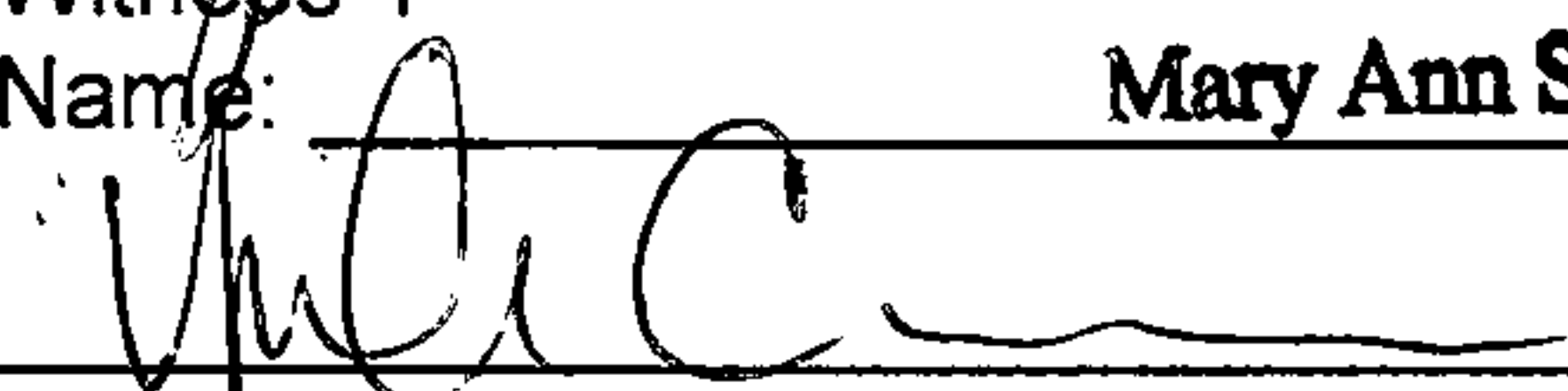
WHEREAS, Holder is willing to subordinate the lien of the Existing Mortgage to the lien of the New Mortgage **with the condition that there are no funds from the closing disbursed to the Owners;**

THEREFORE, in consideration of the promises and other good and valuable consideration, the receipt of which is hereby acknowledged, Holder hereby subordinates the lien of the Existing Mortgage to the Lien of the New Mortgage conditioned upon the above-referenced provisions, so that the New Mortgage will be prior and superior in all respects and with regard to all funds advanced thereunder to the lien of the Existing Mortgage.

U.S. Bank National Association as Trustee for  
CVI Loan GT Trust I by Ditech Financial LLC  
f/k/a by Green Tree Servicing LLC its attorney in  
fact

  
Christian Medina, Assistant Vice President

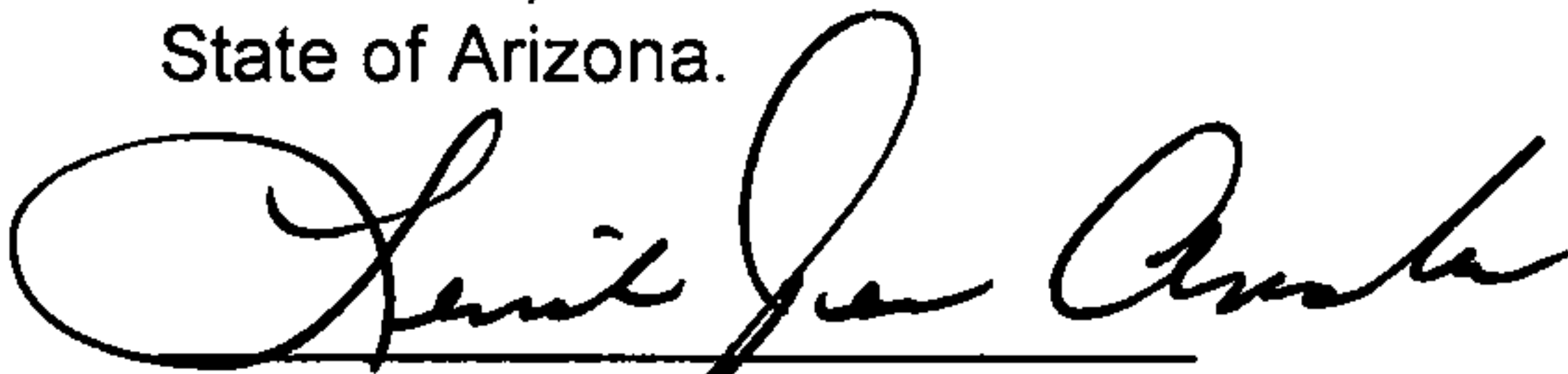
  
Witness 1  
Name: Mary Ann Selim

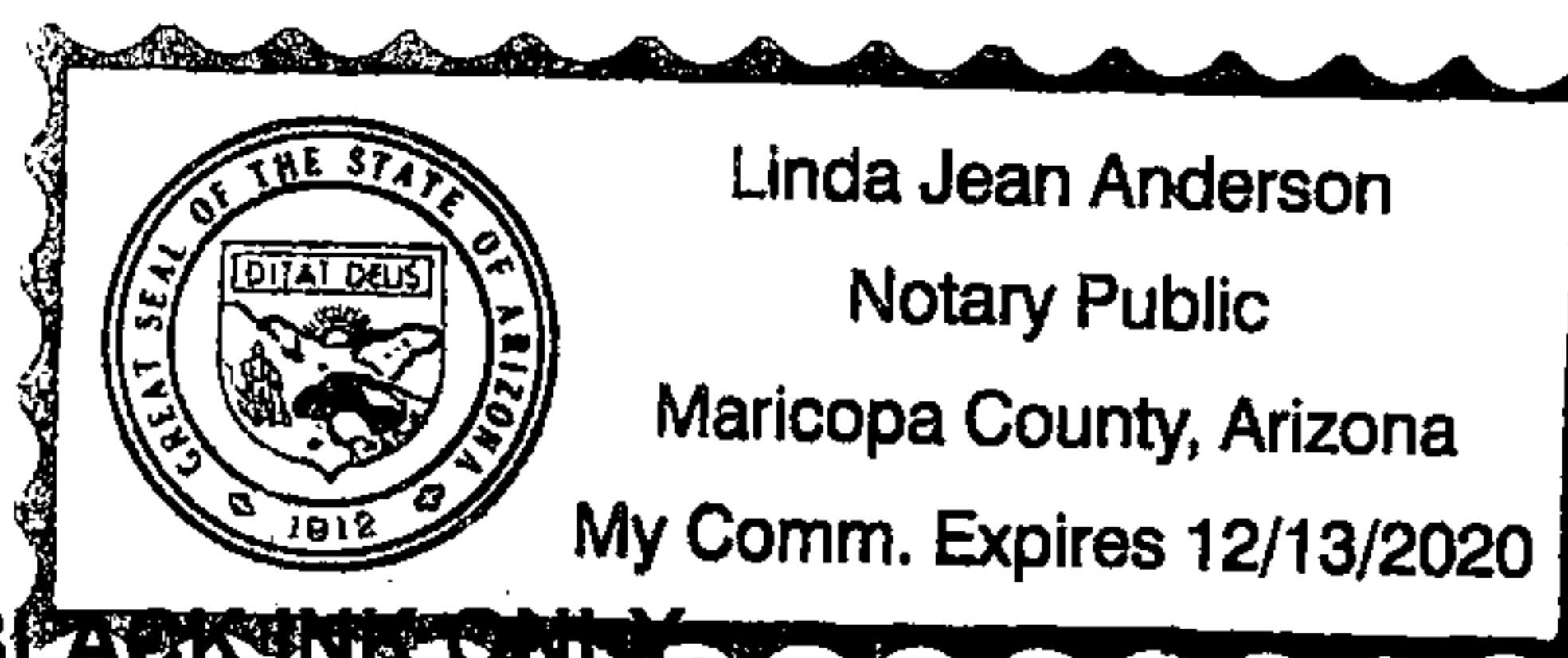
  
Witness 2  
Name: Yolanda Cummins

State of Arizona}  
County of Maricopa} ss.

On the 1 day of November in the year 2017 before me, the undersigned, personally

appeared Christian Medina, Assistant Vice President of Ditech Financial LLC personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is(are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument, and that such individual made such appearance before the undersigned in the City of Tempe, State of Arizona.

  
Notary Signature



PLEASE SIGN IN BLUE OR BLACK INK ONLY.

Property Description:



Real property in the City of **ALABASTER**, County of **SHELBY**, State of **Alabama**, described as follows:

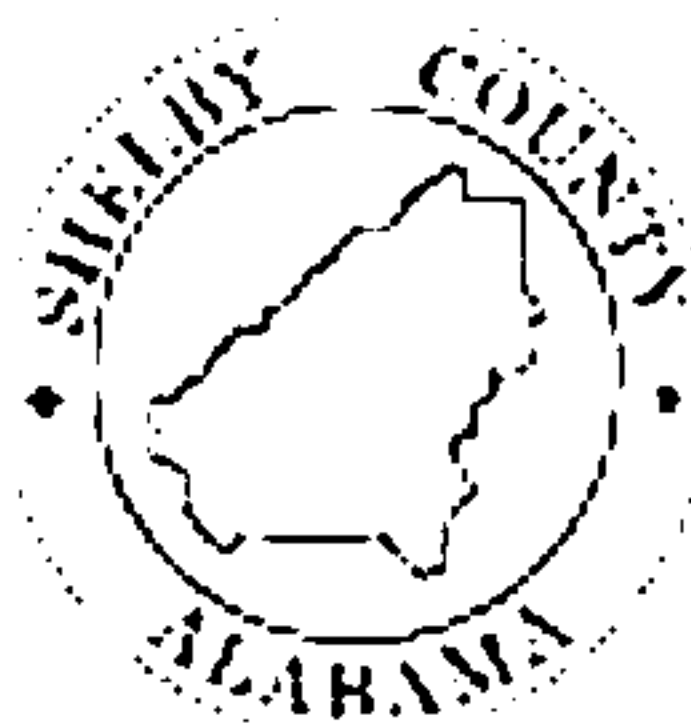
COMMENCE AT THE SOUTHWEST CORNER OF THE SE1/4 OF THE SE1/4 OF SECTION 34, TOWNSHIP 20 SOUTH, RANGE 3 WEST, AND RUN ALONG THE SOUTH LINE OF SAID 1/4-1/4 SECTION NORTH 88 DEGREES 47 MINUTES EAST A DISTANCE OF 315 FEET; THENCE RUN NORTH 2 DEGREES WEST 449.5 FEET; THENCE RUN NORTH 88 DEGREES 47 MINUTES EAST A DISTANCE OF 15 FEET TO THE EAST SIDE OF A THIRTY (30) FOOT-ROADWAY; THENCE CONTINUE NORTH 88 DEGREES 47 MINUTES EAST A DISTANCE OF 155 FEET; THENCE RUN SOUTH 2 DEGREES EAST A DISTANCE OF 100 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 2 DEGREES EAST A DISTANCE OF 100 FEET; THENCE RUN NORTH 88 DEGREES 47 MINUTES EAST A DISTANCE OF 125 FEET; THENCE RUN NORTHEASTERLY ALONG THE NORTH LINE OF A ROAD 110 FEET; THENCE RUN IN A NORTHERLY DIRECTION TO THE SOUTHEAST CORNER OF A LOT SOLD TO THE GRANTORS IN DEED RECORDED IN DEED BOOK 183, PAGE 212, IN THE PROBATE OFFICE OF SHELBY COUNTY, ALABAMA THENCE SOUTH 88 DEGREES 47 MINUTES WEST A DISTANCE OF 205 FEET TO THE POINT OF BEGINNING.  
SITUATED IN SHELBY COUNTY, ALABAMA.

APN #: **13-8-34-4-002-018-000**

Property Address: 152 13<sup>th</sup> Street S.W. Alabaster, AL 35007

WHEREAS, Gary Bishop and Linda Bishop, husband and wife, is/are the owner(s) (the "Owners") of said property;

 BISHOP  
53405063 AL  
FIRST AMERICAN ELS  
SUBORDINATION AGREEMENT  




Filed and Recorded  
Official Public Records  
Judge James W. Fuhrmeister, Probate Judge,  
County Clerk  
Shelby County, AL  
12/27/2017 10:04:56 AM  
\$21.00 JESSICA  
20171227000458900

A handwritten signature in black ink, appearing to be "J. W. Fuhrmeister", is written over the official text.