

This instrument was prepared by:
Michael T. Atchison, Attorney at Law, Inc.
101 West College
Columbiana, AL 35051

Send Tax Notice To: Annie Drake
~~108 Reed Drive~~ 108 Reed Drive
Columbiana, AL 35051


WARRANTY DEED

STATE OF ALABAMA

}

KNOW ALL MEN BY THESE PRESENTS:

SHELBY COUNTY


20080729000305540 1/2 \$15.00
Shelby Cnty Judge of Probate, AL
07/29/2008 03:42:58PM FILED/CERT

That in consideration of Thirty Eight Thousand Seven Hundred Nine dollars and Thirty Four cents (\$38,709.34) to the undersigned grantor (whether one or more), in hand paid by the grantee herein, the receipt whereof is acknowledged, I or we, Rhonda Elisa Sallas, a Married woman d/b/a Homespun Treasures, (herein referred to as grantor, whether one or more), grant, bargain, sell and convey unto Annie Drake (herein referred to as grantee, whether one or more), the following described real estate, situated in Shelby County, Alabama, to-wit:

SEE EXHIBIT A ATTACHED HERETO AND MADE A PART HEREOF.

SUBJECT TO TAXES FOR 2008 AND SUBSEQUENT YEARS, EASEMENTS, RESTRICTIONS, RIGHTS OF WAY, AND PERMITS OF RECORD.

\$77,523.25 OF THE ABOVE RECITED CONSIDERATION WAS PAID FROM A MORTGAGE RECORDED SIMULTANEOUSLY HERewith.

\$0.00 OF THE ABOVE RECITED CONSIDERATION WAS PAID FROM A SECOND MORTGAGE RECORDED SIMULTANEOUSLY HERewith.

THIS PROPERTY CONSTITUTES NO PART OF THE GRANTOR, OR OF HIS/HER/THEIR SPOUSE(S).

TO HAVE AND HOLD to the said grantee, his, her or their heirs and assigns forever.

And I (we) do for myself (ourselves) and for my (our) heirs, executors, and administrators covenant with the said GRANTEES, their heirs and assigns, that I am (we are) lawfully seized in fee simple of said premises; that they are free from all encumbrances, unless otherwise noted above; that I (we) have a good right to sell and convey the same as aforesaid; that I (we) will and my (our) heirs, executors and administrators shall warrant and defend the same to the said GRANTEES, their heirs and assigns forever, against the lawful claims of all person.

IN WITNESS WHEREOF, I have hereunto set my hand(s) and seal(s), this 24th day of July 2008.

(SEAL)

Rhonda Elisa Sallas
d/b/a Homespun Treasures (SEAL)
Rhonda Elisa Sallas d/b/a Homespun
Treasures

(SEAL)

(SEAL)

(SEAL)

(SEAL)

(SEAL)

STATE OF ALABAMA

}

General Acknowledgment

COUNTY OF SHELBY

I, the undersigned, a Notary Public in and for the said County, in said State, hereby certify that Rhonda Elisa Sallas d/b/a Homespun Treasures whose name is signed to the foregoing conveyance, and who is known to me, acknowledged before me on this day, that, being informed of the contents of the conveyance he/she executed the same voluntarily on the day the same bears date.

Given under my hand and official seal this 24th day of July 2008.

Michael T. Atchison
Notary Public
My Commission Expires: 10/16/08

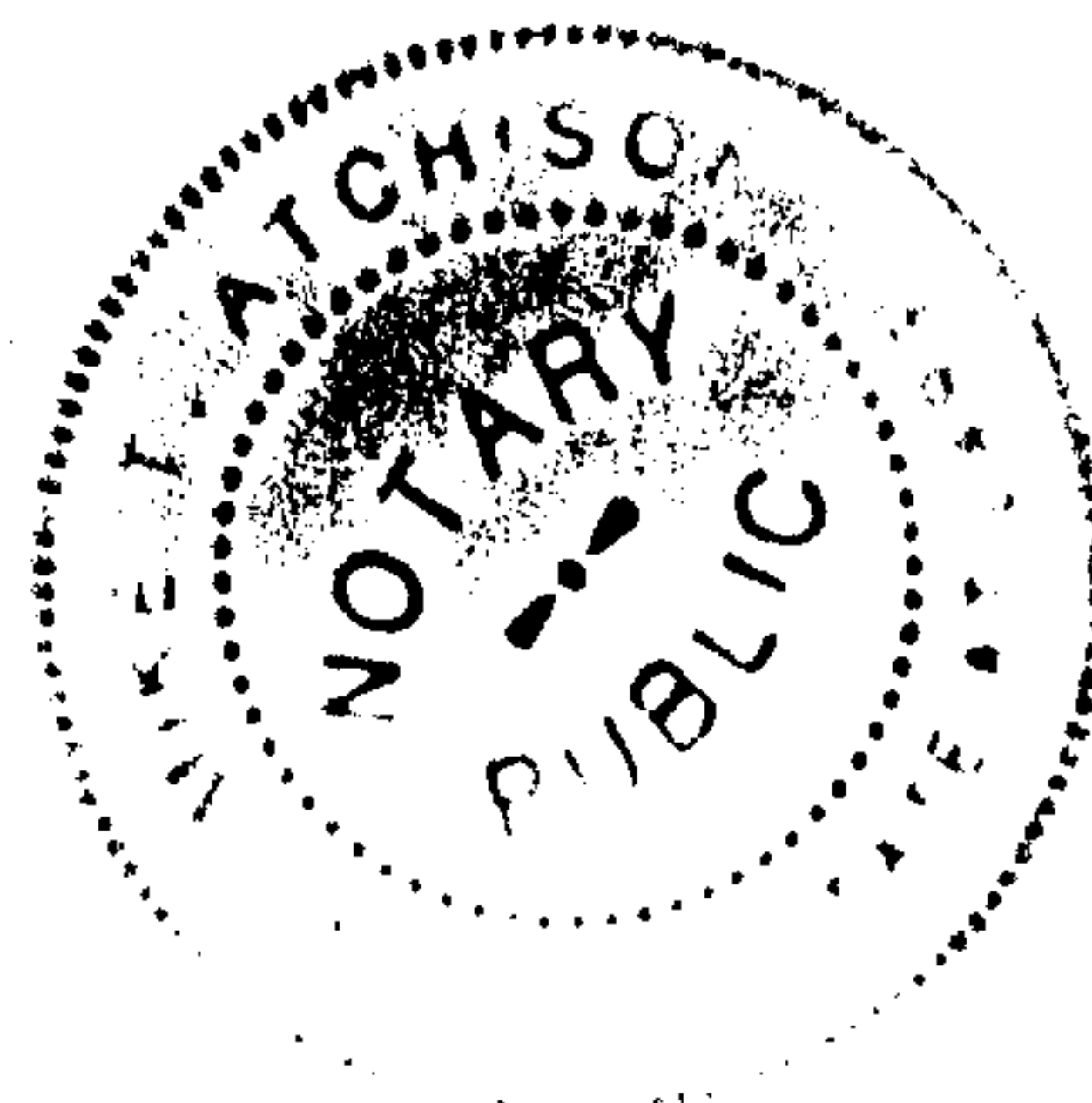


EXHIBIT A

A lot situated in the Town of Columbiana, Alabama, being more particularly described as follows:

Commence at the back of the curb at the intersection of Washington Street and Old Highway 25; thence in an Easterly direction along Old Highway 25 a distance of 153 feet to a point; thence run Southerly a distance of 86 feet, more or less, to the back of the curb on the North side of the Mardis Ferry Public Road, sometimes known as Highway 28; thence run in a Westerly direction along said curb a distance of 155 feet to the intersection of the curb on the East side of Washington Street; thence run in a Northerly direction along the curb of Washington Street 42 feet to the point of beginning.

Being part of Lot 83, according to W. J. Horsley's Map of the Town of Columbiana, and being situated in the NE 1/4 of the NW 1/4, Section 25, Township 21 South, Range 1 West, Shelby County, Alabama.



20080729000305540 2/2 \$15.00
Shelby Cnty Judge of Probate, AL
07/29/2008 03:42:58PM FILED/CERT