

**MORTGAGE FORECLOSURE DEED**

STATE OF ALABAMA  
COUNTY OF SHELBY

)  
)

G. Anthony Montalbano  
0056224785

KNOW ALL MEN BY THESE PRESENTS: That G. Anthony Montalbano and Deborah D. Montalbano husband and wife did, on to-wit, the March 6, 2002, execute a mortgage to Union State Bank, which mortgage is recorded in Instrument No. 20002-11478; said mortgage was modified by that loan modification agreement as recorded in Instrument No. 20020917000447870; said mortgage was transferred and assigned to Washington Mutual Bank, FA, as recorded in Instrument No. 20020917000447880 et seq., in the Office of the Judge of Probate of Shelby County, Alabama; and

WHEREAS, default was made in the payment of the indebtedness secured by said mortgage and the said Washington Mutual Bank fka Washington Mutual Bank, FA did declare all of the indebtedness secured by said mortgage due and payable and did give due and proper notice of the foreclosure of said mortgage, in accordance with the terms thereof, by publication in The Shelby County Reporter, a newspaper of general circulation published in Shelby County, Alabama, in its issues of June 18, 25, July 2, 2008; and

WHEREAS, on the July 21, 2008, the day on which the foreclosure sale was due to be held under the terms of said notice, at 12:10 o'clock a.m./6.m., between the legal hours of sale, said foreclosure sale was duly and properly conducted, and Washington Mutual Bank fka Washington Mutual Bank, FA did offer for sale and did sell at public outcry, in front of the courthouse door of the Shelby County, Alabama, Courthouse in the City of Columbiana, Alabama, the property hereinafter described; and


WHEREAS, the highest and best bid for cash obtained for the property described in the aforementioned mortgage was the bid of Cecelia B. Dozier, in the amount of Two Hundred Forty-Eight Thousand Four Hundred Eighty-Five Dollars and Sixty-Four Cents (\$248,485.64), and said property was thereupon sold to the said Cecelia B. Dozier, and

WHEREAS, said mortgage expressly authorized the mortgagee to bid at the sale and purchase said property, if the highest bidder therefore, and authorized the Mortgagee or Auctioneer or any person conducting said sale for the Mortgagee to execute to the purchaser at the said sale a deed to the property so purchased;

NOW, THEREFORE, in consideration of the premises and of Two Hundred Forty-Eight Thousand Four Hundred Eighty-Five Dollars and Sixty-Four Cents (\$248,485.64), cash, the said G. Anthony Montalbano and Deborah D. Montalbano husband and wife, acting by and through the said Washington Mutual Bank fka Washington Mutual Bank, FA, by MICHAEL ATCHISON, as auctioneer and the person conducting the said sale for the Mortgagee or Transferee of Mortgagee, and the said Washington Mutual Bank fka Washington Mutual Bank, FA, by MICHAEL ATCHISON, as said auctioneer and the person conducting said sale for the Mortgagee or Transferee of Mortgagee, and MICHAEL ATCHISON, as said auctioneer and the person conducting said sale for the Mortgagee or Transferee of Mortgagee, do hereby grant, bargain, sell and convey unto Cecelia B. Dozier, the following described real estate situated in Shelby County, Alabama, to-wit:

Lot 75, According to the survey of Weatherly King's Crest, Sector 3, Phase 3, as recorded in Map Book 18, Page 38 A and B, in the Probate Office of Shelby County, Alabama.

TO HAVE AND TO HOLD the above described property unto Cecelia B. Dozier, forever; subject, however, to the statutory rights of redemption on the part of those entitled to redeem under the laws of the State of Alabama, including, but not limited to, debtors, junior mortgagees, judgement creditors, transferees and vendees thereof, spouses of debtors and their transferees, children, heirs or devisees of the debtors, provided by the laws of the State of Alabama, and any taxes which may be due.

  
20080729000305530 1/2 \$264.50  
Shelby Cnty Judge of Probate, AL  
07/29/2008 03:34:48PM FILED/CERT

Shelby County, AL 07/29/2008  
State of Alabama

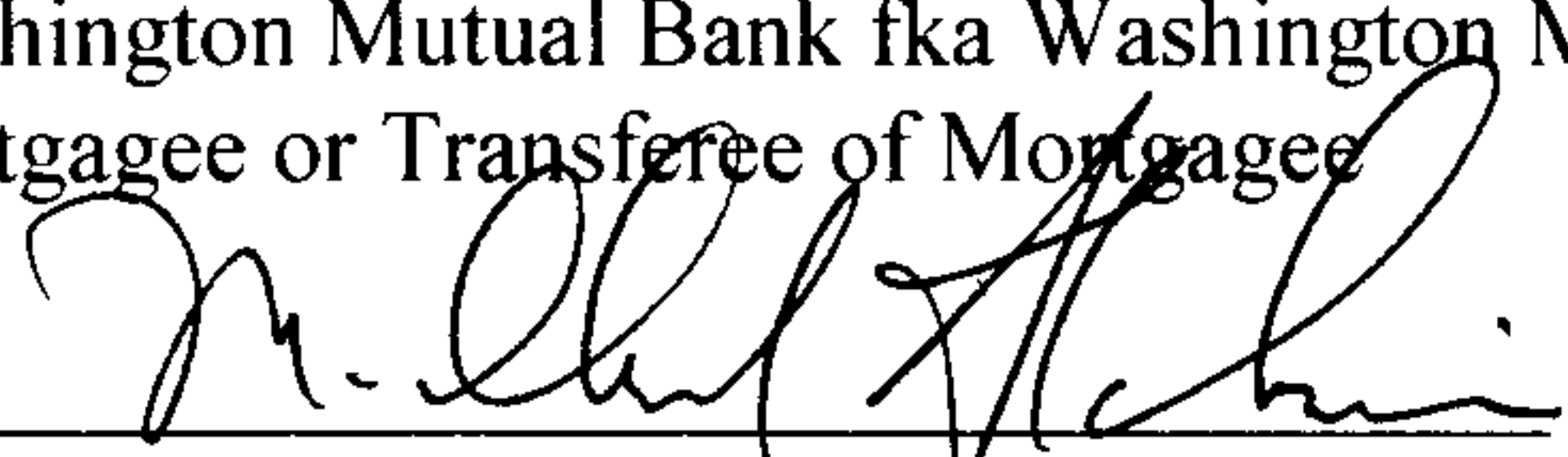
Deed Tax: \$248.50



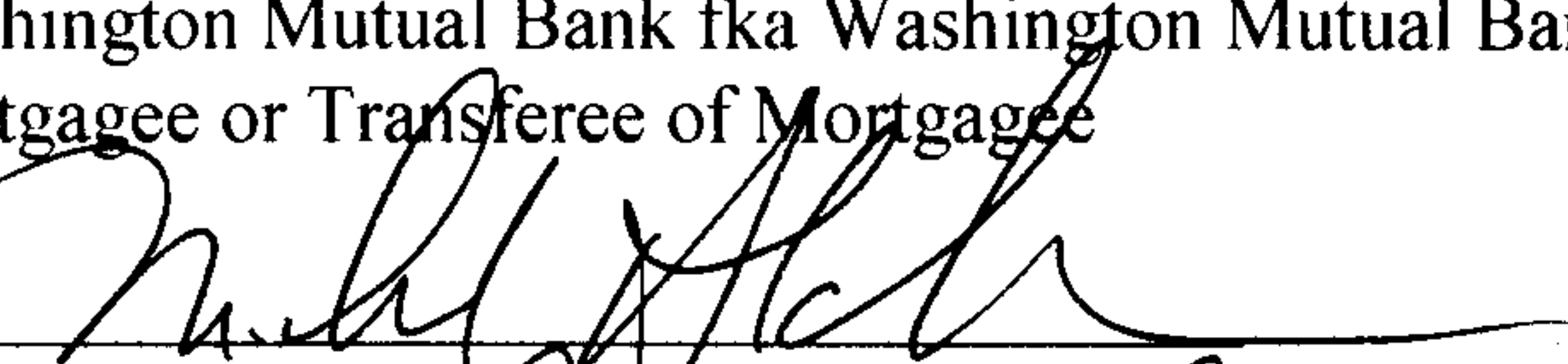
IN WITNESS WHEREOF, the said Washington Mutual Bank fka Washington Mutual Bank, FA, has caused this instrument to be executed by MICHAEL ATCHISON, as auctioneer and the person conducting said sale for the Mortgagee or Transferee of Mortgagee and in witness whereof the said MICHAEL ATCHISON, has executed this instrument in his capacity as such auctioneer on this the July 21, 2008.

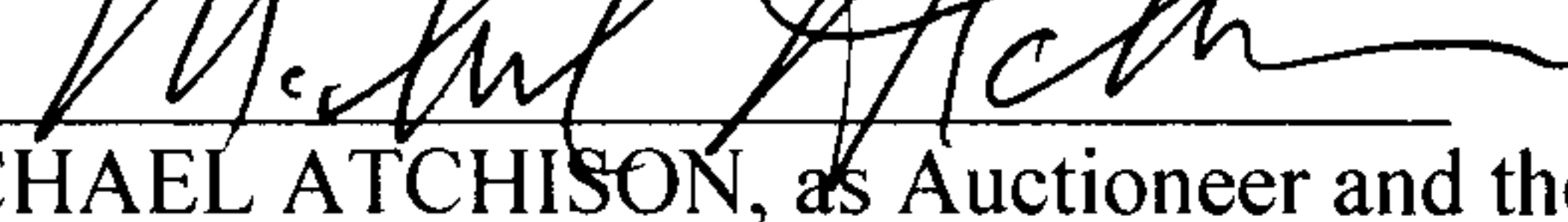
G. Anthony Montalbano and Deborah D. Montalbano husband and wife  
Mortgagors

Washington Mutual Bank fka Washington Mutual Bank, FA  
Mortgagee or Transferee of Mortgagee

By   
MICHAEL ATCHISON, as Auctioneer and the person conducting said  
sale for the Mortgagee or Transferee of Mortgagee

Washington Mutual Bank fka Washington Mutual Bank, FA  
Mortgagee or Transferee of Mortgagee

By   
MICHAEL ATCHISON, as Auctioneer and the person conducting said  
sale for the Mortgagee or Transferee of Mortgagee

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sale for the Mortgagee or Transferee of Mortgagee

STATE OF ALABAMA  
COUNTY OF SHELBY

I, the undersigned, a Notary Public in and for said State and County, hereby certify that MICHAEL ATCHISON, whose name as Auctioneer and the person conducting said sale for the Mortgagee or Transferee of Mortgagee, is signed to the foregoing conveyance, and who is known to me, acknowledged before me on this day that being informed of the contents of the conveyance, he, in his capacity as such Auctioneer and the person conducting said sale for the Mortgagee or Transferee of Mortgagee, and with full authority executed this instrument voluntarily on the day that bears that same date.

Given under my hand and official seal this July 21, 2008.


  
NOTARY PUBLIC



MY COMMISSION EXPIRES: 3-19-2012

Instrument prepared by:  
EDITH S. PICKETT  
SHAPIRO & PICKETT, L.L.P.  
651 Beacon Parkway West, Suite 115  
Birmingham, Alabama 35209  
08-007437

GREANTEE'S ADDRESS:

  
20080729000305530 2/2 \$264.50  
Shelby Cnty Judge of Probate, AL  
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